



CITY OF ELIZABETHTOWN

Joe Reverman, AICP
Director
Planning & Development
Department

JEFFREY H. GREGORY, MAYOR

Elizabethtown Planning Commission

Regular Meeting Agenda

October 28, 2025

6:00 p.m.

Pritchard Community Center, 404 S. Mulberry Street

1. Call to Order
2. Approval of Minutes – October 14, 2025
3. Public Hearing No. 2025-PC-18
Zoning Map Amendment, R-3 to PDD, and Master Plan for Oak Hills
Location: 938 and 948 Nicholas Street
4. Public Hearing No. 2025-PC-20
Zoning Map Amendment, R-4 to R-5, with Development Plan
Location: 325 Helm Street
5. Public Hearing No. 2025-PC-21
Variance request to reduce the rear yard setback
Location: 325 Helm Street
6. Director's Report
6. Commission Member Items
7. Adjournment

**MEETING MINUTES OF THE ELIZABETHTOWN PLANNING COMMISSION
OCTOBER 14, 2025**

A meeting of the Elizabethtown Planning Commission was held on October 14, 2025 at 6:00 p.m. at the Pritchard Community Center, 404 South Mulberry Street, Elizabethtown.

Commission members present:

Steve Rice, Chairperson
Ken Dozer, Vice Chairperson
Maurice Young
Kyle Souleyrette
Alicia Jenkins
Marty Fulkerson, City Council Representative (non-voting member)

Staff members present:

Joe Reverman, Planning Director
Aaron Hawkins, Senior Planner
Madeline Drake, City Planner
Commission Attorney Matt Hess

The following matters were considered:

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APPROVAL OF MINUTES

SEPTEMBER 23, 2025, PLANNING COMMISSION REGULAR MEETING MINUTES

On a motion made by Commissioner Young, seconded by Commissioner Souleyrette, the following resolution was adopted.

RESOLVED, that the Elizabethtown Planning Commission does hereby **APPROVE** the minutes of its meeting conducted on September 23, 2025.

The vote was as follows:

YES: Commissioners Rice, Dozer, Young, Souleyrette, and Jenkins

**PLANNING COMMISSION MINUTES
OCTOBER 14, 2025**

Amended Development Plan and Waiver for 900 Peterson Drive

Request: Amended Development Plan and Landscape Buffer Waiver of Section 154.066(I)
Project Name: Fischbach USA, Inc.
Location: 900 Peterson Drive
Owner: Fischbach USA, Inc.
Applicant: Fischbach USA, Inc.

Agency Testimony:

The Chairperson introduced the agenda item. Aaron Hawkins presented the staff report and accompanying PowerPoint presentation. He oriented the Commission to the location of the property and identified nearby zoning classifications and uses. The applicant is proposing construction of a new parking lot consisting of 29 parking spaces along the northeast corner of the property to the rear of the building. A previous expansion took up the remaining open space portion of this lot and left the facility without additional room for changes and/or additions. Due to the existing residential properties to the rear, a 30' landscape buffer is required. However, to add additional parking spaces, the new parking lot will need to encroach into the landscape area. The applicant is requesting to encroach 9.5' to 3.5' into the 30' buffer. Staff recommend approval of the amended development plan and landscape buffer waiver request with conditions.

Vice Chairperson Dozer asked how long it will take for the new trees to mature and if the trees are required to be a certain height before planting. Mr. Hawkins stated the trees may reach a mature height within 5 years and staff are not requiring the trees to be a certain height before planting.

Those speaking on the request:

No one spoke on this request.

Amended Development Plan and Landscape Buffer Waiver

On a motion by Commissioner Young, seconded by Vice Chairperson Dozer, the following resolution was adopted based on staff analysis and testimony heard today.

Now, therefore be it **RESOLVED**, that the Elizabethtown Planning Commission does hereby **APPROVE** the Amended Development Plan and Landscape Buffer Waiver for Fischbach USA, Inc., located at 900 Peterson Drive, with the following condition:

1. That 20 green giant arborvitaes planted 13 feet on center and a 6-foot-tall privacy fence be provided between the parking and property line.

The vote was as follows:

YES: Commissioners Rice, Dozer, Young, Souleyrette, and Jenkins

**PLANNING COMMISSION MINUTES
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PUBLIC HEARING NO. 2025-PC-20

Request: Zoning Map Amendment, R-4 to R-5 and Development Plan
Project Name: Thomas Street Complex
Applicant: ARProps, LLC and Lawrence Street Holdings, LLC

This item has been rescheduled to the October 28, 2025, Elizabethtown Planning Commission meeting.

**PLANNING COMMISSION MINUTES
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PUBLIC HEARING NO. 2025-PC-14

Request:	Zoning Map Amendment, R-2 to R-4 and Amended Preliminary Plat
Location:	Pear Orchard Road NW
Proposed Use:	Single-unit attached residential
Project Name:	Heartland Meadows
Applicant:	Omni Land Development, LLC
Owner:	Omni Land Development, LLC

The Chairperson introduced the agenda item and opened the public hearing at 6:09 p.m. Matt Hess administered the oath to all those who intended to testify at the hearing.

Agency Testimony:

Madeline Drake presented the staff report and accompanying PowerPoint presentation. She oriented the Commission with the location of the property and identified nearby zoning classifications and uses. The current R-2 zoning requires single-unit detached homes to have a minimum lot width of 75 feet. The applicant is proposing the development of 77 total lots, 74 of which will be detached single-unit homes, with the required 50' minimum lot width, which is allowed in the R-4 zoning district. Staff recommend approval of the zone change request from R-2 to R-4.

Utilities along Pear Orchard Road NW and Natalie Drive are available to the site and will be improved and extended for this development. Stormwater will be directed to the proposed basin located on lot 76. Access will come from two new city streets via Pear Orchard Road NW, two new interior city streets, and an extension of Natalie Drive. Also, as part of the Pear Orchard Road NW improvement project, the property owner will dedicate 0.44 acres of right-of-way to the City.

A waiver of Subdivision Regulations 4.2.3 – Lot Frontage and Access is being requested to reduce the lot frontage along lots 33, 76, and 77. The Commission may waive this frontage to no less than 20 feet as these lots are to be reserved for public use. Staff recommend approval of the amended preliminary plat and requested waiver with conditions.

Joe Reverman gave an update on the Pear Orchard Road NW improvement project stating Phase I of the project should begin in the spring or summer of 2026.

Those speaking in favor of the request:

Mike Brantingham, 115 Hollow Bridge Drive, Elizabethtown, KY 42701

Summary of those speaking in favor of the request:

Mike Brantingham stated the development is needed in the City. The subdivision will have an HOA and Deed of Restrictions.

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Questions of the applicant:

Craig Hoffman, 507 Brighton Court, Elizabethtown, KY 42701
Kyle Epperson, 311 Pear Orchard Road NW, Elizabethtown, KY 42701
Edward Dick, 425 Chestnut Street, Elizabethtown, KY 42701
Robert Rhodes, 2113 Crossfield Drive, Elizabethtown, KY 42701
Dianne Aldrich, 2041 Pear Orchard Road NW, Elizabethtown, KY 42701
Ishmael John, 2141 Crossfield Drive, Elizabethtown, KY 42701
Joe Dexter, 1713 Oriole Drive, Elizabethtown, KY 42701
Mike Epperson, 311 Pear Orchard Road NW, Elizabethtown, KY 42701
Don Wise, 512 White Oak Drive, Elizabethtown, KY 42701
Barbara Sisk, 414 Natalie Drive, Elizabethtown, KY 42701
Laurie Berg, 2129 Crossfield Drive, Elizabethtown, KY 42701

Summary of questions:

Craig Hoffman asked the average value of the homes that are proposed to be built. Mr. Brantingham stated that it is unknown at this time. Chairperson Rice asked what the average square feet of the homes could be. Mr. Brantingham stated on these lots you could potentially build a home between 1500-3000 square feet. Council Member Fulkerson asked if they plan to develop the subdivision and construct the homes or sell the lots to another developer. Mr. Brantingham stated they plan to develop the subdivision but not construct the homes. Kyle Epperson asked if there was a height restriction for dwelling units in R-4, what the density was for the proposed development, and how many feet Crossfield Drive will be from the new proposed access. Staff responded that 35 feet is the maximum height for a dwelling unit in R-4, the proposed development density is 3 units per acre, and that the new access point will be approximately 300 feet from Crossfield Drive. Edward Dick asked if another developer purchased the subdivision could they build a multi-unit development if they followed state or federal zoning regulations. Mr. Reverman stated the R-4 zoning designation is enacted/enforced through local ordinance and the R-4 zoning district in Elizabethtown does not allow for multi-unit development. Robert Rhodes asked if the existing tree line behind the homes along Crossfield Drive would remain during development. Mr. Brantingham stated yes. Dianne Aldrich asked if the widening of the road would cause additional traffic issues. Mr. Reverman stated he does not know the scope of the project and encouraged Ms. Aldrich to reach out to the City Engineer. Ishmael John asked staff to identify the location of the proposed new streets and asked about a tree line in a different location. Staff identified the new streets on the map and noted on the map the tree line in question is not on the developer's property. Mr. John also asked how drainage would be managed. Mr. Brantingham stated they are working with their civil engineer and will route drainage to the new proposed detention basins. Joe Dexter asked if fencing would be installed along the boundary of the subdivision and if there would be any open space provided within the subdivision. Mr. Brantingham stated they have no plans to install fencing and there will be open space provided with a walking trail. Mr. Dexter also asked if there are similar subdivisions in the City to compare what is being proposed and would like the City to install ways to slow traffic along Pear Orchard Road. Mr. Brantingham responded Summit Creek Subdivision and a section of The Cedars. Mike Epperson asked about a past project to improve Pear Orchard Road NW that was not completed and believes it needs to be improved. Council Member Fulkerson stated part of Pear Orchard Road NW is within City limits, while other sections are in Hardin County. Don Wise has concerns with the size of the lot width and on-street parking. Barbara Sisk asked how additional traffic would be handled and has concerns with the Natalie Drive extension into this development. Mr. Reverman stated the extension of Natalie Drive is a requirement of the city to interconnect to this development. Laurie

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Berg asked if apartments will be constructed in the R-4 zoning district. Mr. Brantingham responded multi-unit development is not permissible in the R-4 zone.

Those speaking in opposition to the request:

Edward Dick, 425 Chestnut Street, Elizabethtown, KY 42701
Robert Bivens, 1480 W. Bryan Road, Elizabethtown, KY 42701
Jonathan Forby, 2105 Crossfield Drive, Elizabethtown, KY 42701
Thomas Taylor, 2133 Crossfield Drive, Elizabethtown, KY 42701
Barbara Sisk, 414 Natalie Drive, Elizabethtown, KY 42701
Joe Dexter, 1713 Oriole Drive, Elizabethtown, KY 42701
Laurie Berg, 2129 Crossfield Drive, Elizabethtown, KY 42701
CJ Shepard, 505 Richmond Court, Elizabethtown, KY 42701

Summary of those speaking in opposition:

Edward Dick feels the city has enough housing at this current time and has concerns with the R-4 zone. Robert Bivens has traffic and speeding concerns. Jonathan Forby has traffic and safety concerns even with the proposed road improvements. Thomas Taylor has traffic and speeding concerns. Barbara Sisk has traffic and drainage concerns. Joe Dexter has concerns with the allowable density in R-4. Laurie Berg would like to see the road improved prior to development. CJ Shepard would also like to see the road improved.

Rebuttal:

Mike Brantingham feels this is a good fit for the site and will be a benefit to the city.

Deliberation:

Vice Chairperson Dozer stated if the proposal were to change that needed a zone change, it would need to come back to the Commission for approval.

Public Hearing No. 2025-PC-14, Zoning Map Amendment R-2 to R-4

On a motion by Vice Chairperson Dozer, seconded by Commissioner Souleyrette, the following resolution was adopted based on staff analysis and testimony heard today.

WHEREAS, the Commission finds that the proposal complies with the Community-Wide Development Policies of The Plan, that the size and scale of an R-4 residential development would be generally compatible with nearby existing residential development, that access to the property is available from Pear Orchard Road Northwest and Natalie Drive, that development of this property would provide interconnectivity and alternate access points for the existing Pleasant Acres Subdivision, that water and sewer are available to the property and can be extended to support further development, and that water supply and pressure are adequate for residential development of the lot; and

WHEREAS, the Commission finds that the property is located in Sub Area 3, Outer Ring Road East, that the proposal complies with the Recommended Land Use Map of The Plan which designates this property as Suburban Residential between 2 and 6 residential units per acre, that the proposed R-4 zoning district allows a maximum of 10 dwelling units per acre, that uses in R-4 are compatible with surrounding developments,

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and that proposals that exceed 6 dwelling units per acre should provide enhanced amenities; and

WHEREAS, the Commission finds that development of this property would extend utilities and infrastructure, the size and scale of an R-4 development would be compatible with nearby existing development, that this property has opportunities to provide connectivity and alternate access points to adjacent subdivisions, that a sidewalk will be required to be constructed along both sides of all new city streets to encourage pedestrian accessibility, that water and sewer are available to allow for appropriate development of the property; and

WHEREAS, the Commission finds that the subject property is not located in a Targeted Planning Area within Sub Area 3, Outer Ring Road East of The Plan.

RESOLVED, that the Elizabethtown Planning Commission **RECOMMEND** to the Elizabethtown City Council that the zoning map amendment for 320 Pear Orchard Road NW, from R-2 Suburban Residential to R-4, Urban Residential, General, be **APPROVED**.

The vote was as follows:

YES: Commissioners Rice, Dozer, Young, Souleyrette, and Jenkins

Amended Preliminary Plat for Heartland Meadows

On a motion by Commissioner Souleyrette, seconded by Vice Chairperson Dozer, the following resolution was adopted based on staff analysis and testimony heard today.

Waiver of Subdivision Regulations 4.2.3 – Lot Frontage and Access

WHEREAS, this waiver request is for the two (2) proposed open space lots and one mail kiosk lot for this subdivision. Lot 76 will be reserved for community use and will have three public access points leading to a paved path and open grassy area. Lot 77 will have two stormwater basins for this subdivision and a paved access path for residents and Stormwater staff to view and evaluate the basins. Lot 33 will serve as a small, dedicated lot for the mail kiosk, which are a USPS requirement for all new single-unit developments. These lots are to provide an amenity for the residents and do not have the same need for access as inhabited lots.

RESOLVED, that the Elizabethtown Planning Commission **RECOMMEND** to the Elizabethtown City Council that the zoning map amendment for 320 Pear Orchard Road NW, from R-2 Suburban Residential to R-4, Urban Residential, General, be **APPROVED**, with the following waiver:

- Waiver of Subdivision Regulations 4.2.3 – Lot Frontage and Access is being requested to reduce the lot frontage along lots 33, 76, and 77

And following condition:

1. At the record plat stage, provide a means of common ownership, management, funding and maintenance of platted common space.

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The vote was as follows:

YES: Commissioners Rice, Dozer, Young, Souleyrette, and Jenkins

Chairperson Rice closed the public hearing at 7:45 p.m.

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Director's Report:

The Chairperson introduced the agenda item. Mr. Reverman reviewed upcoming agenda items, including two public hearings. Mr. Hawkins gave an update on the Downtown Master Plan. Mr. Reverman also gave an update on the online permitting software progress.

Commission Member Items:

The Chairperson introduced the agenda item. There were no items to discuss.

Adjournment:

There being no further items to discuss, Commissioner Souleyrette made a motion to adjourn with a second by Commissioner Jenkins. The Chairperson declared the meeting adjourned at 7:57 p.m.

Prepared by:

Janet Rodgers, Administrative Secretary
Planning & Development

Attachment & Exhibits
DVD of the meeting available for review

ADOPTED AND APPROVED

_____ day of _____, 2025

Steve Rice, Chairperson
Elizabethtown Planning Commission



Public Hearing No. 2025-PC-18

Zoning Map Amendment
R-3 to PDD
&
Master Plan

938 and 948 Nicholas Street



Staff Report

Elizabethtown Planning Commission
October 28, 2025

2025-PC-18

REQUEST

Change in zoning from R-3, Urban Residential to PDD,
Planned Development District

Master Plan for Oak Hills

APPLICANT

Lonetree USA

OWNER

Lonetree USA

PROPERTY INFORMATION

Address: 938 & 948 Nicholas Street

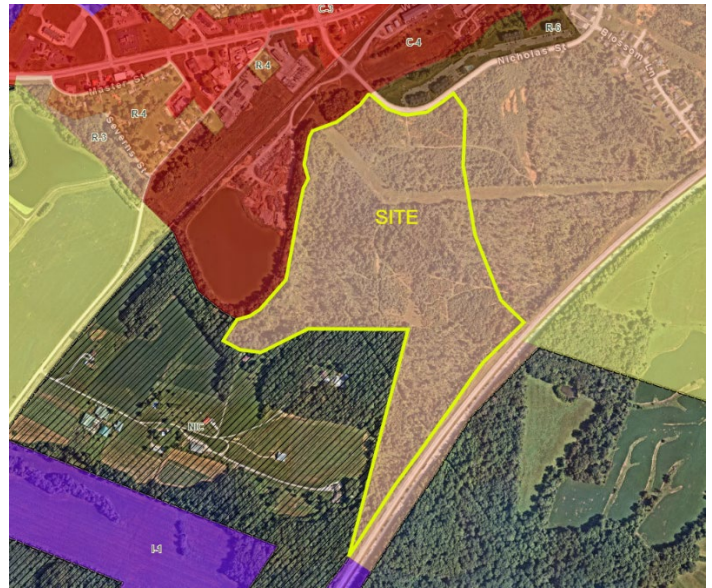
Size: 96.45 Acres

Current Zoning: R-3, Urban Residential

Proposed Zoning: PDD, Planned Development
District

Current Use: Vacant

Proposed Use: Master Planned Community



SUMMARY

This request for a change of zoning is requested to allow a Master Planned Community with a mixture of residential types and a small section of commercial uses. The current R-3 zoning allows single-unit and two-unit dwelling units, as well as cottage court developments. The PDD zoning district is intended to implement the goals and objectives of the Comprehensive Plan by incentivizing dense and compact developments of high quality design with open space and parks within walking distance of residents. A master planned development allows the developer to set their own zoning and design criteria, giving the developer flexibility while providing enhanced amenities to the residents and community at large. PDDs should only be used where the proposed design could not be largely or substantially achieved with a residential or commercial zoning district. In the case of the proposed development, topographic constraints of the site play a limiting factor of ability of the developer to use a standard residential zoning district for this site. The master plan should show design criteria of the development in the form of building types/designs, street types/designs, landscaping, use areas, general street layout, and signage types/designs. The master plan is required to be approved by the City Council and is binding to the development. Any alterations to the plan will be required to either seek approval of the department director (if considered minor) or seek approval of the Planning Commission and subsequently the City Council (if considered major).

The adjacent properties are zoned R-3 (east), R-6 (north), C-4 (west), county Industrial Holding (west), and county R-1 (south). The property to the north is the Winding Springs multi-unit development, to the east is

vacant property, to the west and south is unincorporated Hardin County and is utilized as single-unit/agricultural uses.

Utilities are currently available and able to be extended to the site and there is sufficient capacity for this development. With the development being greater than 1 acre in size, water quality measures will be required. Stormwater will be handled at the subdivision level and will be required to comply with the City's stormwater ordinance. There will be several open space areas throughout this development that will be for the use of residents of the development as well as the general public.

BACKGROUND

This property was originally platted as Tracts G and H of the Winding Springs Property in 2009 and has sat vacant since. As future development tracts, a Preliminary Plat is required to be approved by the Planning Commission and subsequently a record plat before development can take place. The rear portion of this property was annexed in 2014 and assigned a zoning designation of R-3 to match the adjoining Winding Springs development.

RECOMMENDATION

Staff recommends approval of a zoning map amendment from R-3, Urban Residential to PDD, Planned Development District as it is found to be in compliance with the community-wide development policies and guidelines, the recommended land use plan, the sub area guidelines and the targeted planning area guidelines of the Elizabethtown comprehensive plan.

STANDARD OF REVIEW FOR ZONING MAP AMENDMENTS

KRS 100.213 states that before a zoning map amendment is granted, it must be found to be in agreement with the adopted Comprehensive Plan. Or, in the absence of such a finding that one or more of the following apply:

- a. That the existing zoning classification given to the property is inappropriate and that the proposed zoning classification is appropriate;
- b. That there have been major changes of an economic, physical, or social nature within the area involved which were not anticipated in the adopted comprehensive plan and which have substantially altered the basic character of such area.

COMPREHENSIVE PLAN ANALYSIS

Staff finds that the proposal complies with the Envision Elizabethtown 2040 Comprehensive Plan.

The Envision Elizabethtown 2040 Comprehensive Plan lays out a five step process for determining whether a proposal complies with the Comprehensive Plan. Following is staff's analysis for compliance with the Comprehensive Plan.

Step 1: Compliance with the Community-Wide Development Policies

This step reviews policies that are applicable to new construction and redevelopment throughout the city. A list of all of the policies can be found on page 28 of the comprehensive plan. The following policies are applicable to this request:

- Emphasis is placed on reuse and redevelopment of existing parcels and structures versus development of vacant (undeveloped) or unplatted parcels.
- The size and scale of all development and redevelopment should reflect the character and style of surrounding uses, regardless of the nature and desirability of the particular project.

- Access points to all public roadways should be defined and minimized.
- Developments should be interconnected in order to minimize traffic conflicts and to provide alternative access points and routes for traffic flow.
- New development should only occur in areas where water and sewer services are available from public agencies and can meet additional demand.
- New development should only occur where there is an adequate water supply and pressure for fire protection services.

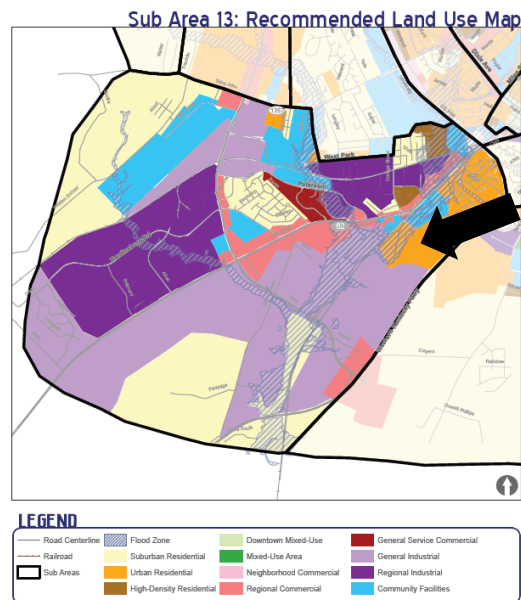
Staff Analysis:

- Access to the development will be from Nicholas Street, an existing city street with capacity to handle this level of development.
- An interconnection is preliminarily proposed with the adjacent property to the east (Winding Springs Property, Tract F).
- The size and scale of a master planned development would be compatible to the mixed density residential uses in the vicinity of this site.
- Water and sewer are available in the area and can be extended to this property.
- Water supply and pressure are adequate for the proposed development.

Step 2: Compliance with the Recommended Land Use Plan

In order to determine compliance with the comprehensive plan, property subject to a development proposal should be located on the Recommended Land Use Map to identify the sub area in which it is located, the recommended land use for the property, and whether it is considered to be in a transition area.

This property is in the Industrial Park Sub Area (Sub Area 13) and is not in a transition area. The Recommended Land Use Map designates the property as Urban Residential, which are encouraged in areas closer to the city core, accessible to suitable infrastructure and adjacent to existing development patterns that support and are compatible with medium to moderate density residential developments. Specific uses in this category primarily include single-unit residential uses but could also include duplex and multi-unit residential uses. Areas recommended for Urban Residential can exceed a density of twelve units per acre if the development provides the desired thresholds for quality-of-life amenities, higher aesthetic features, and appropriate transitions to adjacent sites.



Staff Analysis:

- The Recommended Land Use Map designates this property as Urban Residential. Portions of the proposed development would be considered a residential development, however, there are portions of this development not in compliance with the Recommended Land Use Map. Because of proposed quality of life amenities, higher aesthetic features, and transitions to the vacant property to the east, the PDD zoning could be justified.

Step 3: Compliance with the Community-Wide Guidelines

This step builds upon Step 1 by providing more detailed direction for development. It focuses on redevelopment, scale, transition between land uses, access management and vehicular connectivity, pedestrian connectivity, environment, and utilities. A list of all the guidelines can be found on pages 34-36 of the comprehensive plan. The following guidelines are applicable to the request:

- A. *Redevelopment Emphasis:* Emphasis should be placed on reuse and redevelopment of existing parcels and structures versus vacant (undeveloped) parcels. Redevelopment of existing sites and structures not only improves sites that typically lack investment, but it also places less burden on extending utilities, public services, and other city services.

Staff Analysis:

- The requested zoning map amendment to a residential zoning classification would allow an appropriate development of an existing city lot that has public services (water, sewer, gas) nearby.

- B. *Scale and Density:* The size and scale of all development and redevelopment should reflect or transition to a similar character and style of surrounding uses regardless of the nature and desirability of the proposed project or development. Higher-density residential should also be encouraged within the current city limits with appropriate transitions to adjacent parcels.

Staff Analysis:

- The size and scale of a master planned development would be compatible to the mixed density residential uses in the vicinity of this site.

- C. *Transition between Land Uses:* Development should provide appropriate transitions between conflicting land uses and densities/intensities. While this plan identifies areas for specific recommended land uses, it is important to consider how development transitions between land uses and densities to avoid conflicts.

Staff Analysis:

- The master planned development would provide an appropriate transition between the vacant R-3 zones to the east and the multi-unit residential uses directly north of this property.

- D. *Access Management & Vehicular Connectivity:* All development should use access management techniques and encourage connectivity to adjacent development to minimize traffic conflicts and provide alternative access points and routes for traffic flow. Traffic congestion and safety should be considered on all development through access management measures. Cross-development connectivity is important in preserving the level of service on adjacent thoroughfares by providing routes for traffic to access adjacent developments without using a higher classification road that is not intended for individual site access. This encourages fewer curb cuts, or access points, into a development and, therefore, allows traffic to flow and improves safety on the adjacent roadway.

Staff Analysis:

- Access to the development will be from Nicholas Street, an existing city street with capacity to handle this level of development.
- An interconnection is preliminarily proposed with the adjacent property to the east (Winding Springs Property, Tract F).

- E. *Pedestrian Connectivity*: New pedestrian facilities should be encouraged and connected to adjacent development. Providing pedestrian connections can be just as important as vehicular connections. Providing ways for people to walk between adjacent developments and from surrounding residential areas provides an alternative mode of transportation and encourages healthy lifestyles.

Staff Analysis:

- Sidewalks will be provided throughout the development connecting each dwelling unit to the open space and the commercial use area along Nicholas Street.

- G. *Utilities*: New development should be served by adequate water and sewer services. Water and sewer services are a critical element for new development to occur, but those agencies also need to have the capacity to meet the additional demand placed on the system.

Staff Analysis:

- Water and sewer are available in the area and can be extended to this property.

Step 4: Compliance with the Sub Area Guidelines

This step provides guidelines that are more specific to the sub area in which the property is located. The subject property is located in the Industrial Park Sub Area (Sub Area 13). The following guidelines are applicable to this request:

2. *Compatible Uses*: Some circumstances could justify other compatible uses to serve daily needs of employees, visitors, or residents or to accommodate agricultural businesses.
3. *Environment*: Development should consider the environmental impact on natural areas.
5. *Design Guidelines*: Design of industrial buildings should take surrounding uses into consideration and should be aesthetically pleasing.

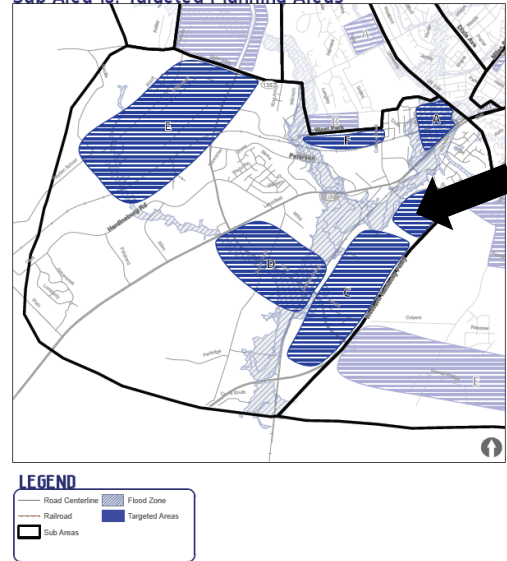
Staff Analysis:

- There will be a mixture of uses in this master planned development, ranging from single-unit residential to multi-unit residential with a small section of neighborhood commercial type uses along Nicholas Street.
- The master planned development would provide an appropriate transition between the vacant R-3 zones to the east and the multi-unit residential uses directly north of this property.
- The master plan lays out protection measures for the natural areas and streams throughout this development.
- The master plan lays out design criteria to ensure aesthetically pleasing buildings and varied facades with natural type materials.
- Street trees are proposed along local streets as well as landscaping standards throughout the development.

Step 5: Compliance with Targeted Planning Area Guidelines

This step provides guidelines for a targeted planning area within a sub area. Targeted planning areas have been identified for areas needing more intensive analysis and guidance. This property is located in Targeted Planning Area B. This targeted planning area has started to develop with urban residential and the Nicholas Street soccer fields and the city's public works facility. Development is constrained by the CSX rail line to the west/north and the WK Parkway to the east/south. Environmentally sensitive areas exist within this targeted planning area and portions are heavily wooded.

Sub Area 13: Targeted Planning Areas



Staff Analysis:

- Portions of the proposed development would be considered a residential development, however, there are portions of this development not in compliance with the Recommended Land Use Map. Because of proposed quality of life amenities, higher aesthetic features, and transitions to the vacant property to the east, the PDD zoning could be justified.
- The master plan lays out protection measures for the natural areas and streams throughout this development.

STAFF FINDINGS

Staff recommends approval of the zoning map amendment with the following findings:

WHEREAS, the Elizabethtown Planning Commission (Commission) finds the proposed zoning map amendment from R-3, Urban Residential to PDD, Planned Development District complies with the Envision Elizabethtown 2040 Comprehensive Plan; and

WHEREAS, the Commission finds that the proposal complies with the community wide development policies of the Plan, that access to the development will be from Nicholas Street, an existing city street with capacity to handle this level of development, that an interconnection is preliminarily proposed with the adjacent property to the east (Winding Springs Property, Tract F), that the size and scale of a master planned development would be compatible to the mixed density residential uses in the vicinity of this site, that water and sewer are available in the area and can be extended to this property, and that water supply and pressure are adequate for the proposed development; and

WHEREAS, the Commission finds the proposal complies with the recommended land use plan, that the Recommended Land Use Map designates this property as Urban Residential. Portions of the proposed development would be considered a residential development, however, there are portions of this development not in compliance with the Recommended Land Use Map. Because of proposed quality of life amenities, higher aesthetic features, and transitions to the vacant property to the east, the PDD zoning could be justified; and

WHEREAS, the Commission finds the proposal complies with the community wide guidelines of the Plan, that the requested zoning map amendment to a residential zoning classification would allow an appropriate development of an existing city lot that has public services (water, sewer, gas) nearby, that the size and scale

of a master planned development would be compatible to the mixed density residential uses in the vicinity of this site, that the master planned development would provide an appropriate transition between the vacant R-3 zones to the east and the multi-unit residential uses directly north of this property, that access to the development will be from Nicholas Street, an existing city street with capacity to handle this level of development, that sidewalks will be provided throughout the development connecting each dwelling unit to the open space and the commercial use area along Nicholas Street, and that water and sewer are available in the area and can be extended to this property; and

WHEREAS, the Commission finds that the proposal complies with the sub area guidelines of the Plan, that there will be a mixture of uses in this master planned development, ranging from single-unit residential to multi-unit residential with a small section of neighborhood commercial type uses along Nicholas Street, that The master planned development would provide an appropriate transition between the vacant R-3 zones to the east and the multi-unit residential uses directly north of this property, that the master plan lays out protection measures for the natural areas and streams throughout this development, that the master plan lays out design criteria to ensure aesthetically pleasing buildings and varied facades with natural type materials and that street trees are proposed along local streets as well as landscaping standards throughout the development; and

WHEREAS, the Commission finds that the proposal complies with targeted planning area D of sub area 13 of the Plan, that portions of the proposed development would be considered a residential development, however, there are portions of this development not in compliance with the Recommended Land Use Map. Because of proposed quality of life amenities, higher aesthetic features, and transitions to the vacant property to the east, the PDD zoning could be justified, and that the master plan lays out protection measures for the natural areas and streams throughout this development.

MASTER PLAN/PRELIMINARY SUBDIVISION PLAT ANALYSIS

As part of the requirements of the PDD zone, a master plan is required to be approved by the Planning Commission and subsequently the City Council. The master plan should lay out the use areas with permitted uses and design standards for each use/lot in the use area. The proposed master plan shows five (5) use areas, each with specified design criteria. Use area 1 will allow a mixture of single-unit residential, two-unit residential and townhomes. Use area 2 will allow single-unit residential uses. Use area 3 will allow multi-unit residential uses. Use area 4 will be the commercial section of the development with neighborhood commercial type uses allowed. Use area 5 will be reserved as open space and/or a park. Instead of defining each use area by standard density measures, the master plan is allowing a maximum number of dwelling units per use area (areas 1, 2 and 3).

The master plan allows the developer to define their own road types so long as each road type provides minimum standards as laid out by the subdivision regulations. For the Oak Hills master plan, they have classified their streets as local streets, neighborhood access streets and alleys. Each street type has specified standards regarding right of way width and cross section design, but sidewalk placement will be dependent on whether or not structures front load the street or rear load the street. The master plan says that all structures should front on a public sidewalk, however some residential structures front on an open courtyard with a sidewalk network around the courtyard. In instances such as these, there will not be a sidewalk along the street that provides access to this dwelling unit. The only street that will have streetscape plantings are local streets. All streets will have street lighting along the street and at all intersections. Included in the application were typical cross sections of each street type which shows the general design concept of each street type.

Open space is proposed to be an important part of this development. The master plan requires a minimum of 20% of land within the development to be left as open space. Unless dedicated to the City as a public park, all open space will be managed and maintained by a separate common ownership agreement or homeowners association. There are several areas of either natural wetlands or wooded hillsides that will be preserved in their native state and protected by a proposed conservation easement.

The master plan lays out administrative guidelines regarding the required conceptual plan for the development, as well as amendments to the master plan. Section 154.068 of the Zoning Ordinance says that master plan applications are required to provide a conceptual plan showing the general layout and design concept of the development. The conceptual plan that was submitted with this master plan shows the general road layout as well as the boundaries of the use areas. What's important to remember when considering this master plan request is that the overall design of this development can change as it goes through the platting and design process, specifically precise road location, lot configuration, specific uses (so long as they're permitted uses in the use area) and landscaping. The items that will be binding to the development are the items as laid out in the master plan regarding standards and uses.

In the administrative section of the master plan, it does lay out the amendment process and the procedural requirements when it comes to changes. There are two amendment types and those are minor and major changes. Minor changes only require approval from the Director of Planning and Development and are items like minor shifts in the use-area boundaries, minor realignments of streets, landscaping adjustments, lighting changes and minor changes to open spaces. Major changes require the master plan to come back before the Planning Commission for consideration (and subsequently the City Council). Those are changes that alter the standards/specifics of the master plan.

MASTER PLAN/PRELIMINARY SUBDIVISION PLAT APPROVAL

Staff recommends approval of the master plan (and all associated documents) with no conditions.

OAK HILLS
Elizabethtown, KY

MASTER PLAN

This Planned Development District (PDD) Master Plan document is created in accordance with § 154.068 of the Elizabethtown, KY, zoning ordinance, which is intended to implement the goals and objectives of the Comprehensive Plan by incentivizing dense and compact developments, developing open space and parks within walking distance of residents, and developing neighborhoods with a high quality of design. This PDD encourages flexibility and innovation in site design, including a mix of uses, pedestrian-friendly streetscapes, common open space, and a variety of housing types, lot sizes, and densities.

The Oak Hills Planned District is designed using principles of New Urbanism and aims to create a walkable, mixed-use, and diverse neighborhood that prioritizes human scale and community interaction. The following standards will achieve dwelling type, size, and density targets and ensure that Oak Hills retains a “village” style feel where residents enjoy plenty of open space and vehicular traffic is kept to a minimum.

I. Statement of Goals

The goals of the Oak Hills Planned Development are consistent with the Elizabethtown Comprehensive Plan and the purposes of the PDD zoning district. This development aims to:

- Create a compact and dense neighborhood with a high quality of design.
- Provide a mix of uses and housing types to foster a diverse community.
- Prioritize pedestrian activity through well-designed streetscapes and connectivity.
- Integrate ample open space and parks within walking distance for residents.
- Preserve and respect the natural topography, environmentally sensitive lands, wildlife habitats, and waterway corridors.

II. General Location of Development Areas, Acreage, Land Use Mix, and Standards

The PDD is generally located between Nicholas Street and Western Kentucky Parkway (South of Nicholas St., North of WKP) along Valley Creek and comprises approximately 96 acres (Tracts G and H of the Winding Springs Subdivision as recorded in Plat Cabinet 1, Sheet 4859 as recorded in the Hardin County Clerk's Office, see attached survey map). The general location of each development area, its acreage, types and mix of land uses, and area-specific dimensional and density requirements are as follows. As stated in the PDD ordinance (§ 154.068), the intent of the PDD is to create dense and compact developments that include open space and parks within walking distance, and neighborhoods with a high quality of design. To realize this goal, minimum lot sizes will not be established, but the following criteria must be met, per parcel.

II.A Use Area 1

- General Location: Northeastern corner of the development (see Use Area Plan, attached).
- Acreage: approx. 27 acres
- Max Density: 30 single family units, 220 townhome/duplex units
- Allowed Uses: See attached chart for allowable uses
- Site Design Standards:
 - Building Design:
 - Minimum different building designs: 2 (townhome/duplex) / 2 (single family)
 - Buildings shall provide a clearly defined entry oriented toward an abutting

- sidewalk or street with direct pedestrian access from a clearly defined entrance to the public sidewalk.
 - Predominant exterior building materials shall use brick, stone, wood, or sturdy siding, such as Hardie. Stucco and vinyl siding shall not be permitted.
 - Buildings of the same color and/or design/façade shall not be built immediately adjacent to each other.
- Access Management, Parking, and Loading:
 - Min Parking: 2 spaces per D.U.
 - Parking may be provided onsite or offsite in a separate parking area.
 - When Alley Streets are provided, vehicular access will be provided from the alley.
 - If on-street parking is provided, curb extensions will be provided at intersections to reduce pedestrian crossing distances.
- Parks/Open Space:
 - Several sections of land within Use Area 1, totaling approximately 3 acres, will be dedicated to community open space. Several residences will have front doors that open directly onto shared, landscaped common areas.
 - Multiple convenient access points to these commons will be provided, by way of sidewalks/walkways, throughout the community for units that are not directly located on the commons.
 - Maintenance and funding of common open space will be established through an association, or other common ownership method as provided for in the Subdivision Regulations. This maintenance agreement must be established prior to recording of subdivision.
- Dimensions:
 - Minimum front yard setback: 10 ft (garage doors min 25 ft.) from ROW/property line
 - Minimum side setback: 5 ft; 0 ft for common walls in zero lot line developments/townhomes
 - Minimum rear yard setback for rear-load units, primary structures: min. 5 ft. from Alley ROW for rear-load garage, min. 25 ft from non-Alley Street ROW for rear-load garage
 - Minimum rear yard setback for front-load units, primary structures: 15 ft.
 - Minimum rear setback, accessory structures: 5 ft.
 - Minimum lot area: No minimum lot area

II.B Use Area 2

- General Location: Southern-most half of the development (see Use Area Plan, attached)
- Acreage: approx. 39 acres
- Max Density: 200 single family units
- Allowed Uses: See attached chart for allowable uses
- Site Design Standards
 - Building Design:
 - Minimum different building designs: 3 (single family)
 - Buildings shall provide a clearly defined entry oriented toward an abutting sidewalk or street with direct pedestrian access from a clearly defined entrance to the public sidewalk.
 - Predominant exterior building materials shall use brick, stone, wood, or sturdy siding, such as Hardie. Stucco and vinyl siding shall not be

- permitted.
 - Buildings of the same color and/or design/façade shall not be built immediately adjacent to each other.
 - Access Management, Parking, and Loading:
 - Min Parking: 2 spaces per D.U. (off-street)
 - Parking may be provided onsite or offsite in a separate parking area.
 - If on-street parking is provided, curb extensions will be provided at intersections to reduce pedestrian crossing distances.
 - Parks/Open Space:
 - Where shared open spaces are provided in Use Area 2, mowing and plant/tree maintenance within these spaces will be performed by an HOA. This maintenance agreement must be established prior to recording of subdivision.
 - Size and location to be determined at platting.
 - Dimensions:
 - Minimum front yard setback: 10 ft (garage doors min 25 ft.) from ROW/property line
 - Minimum side setback: 5 ft; 0 ft for common walls in zero lot line developments/townhomes
 - Minimum rear yard setback for rear-load units, primary structures: min. 5 ft. from Alley ROW for rear-load garage, min. 25 ft from non-Alley Street ROW for rear-load garage
 - Minimum rear yard setback for front-load units, primary structures: 15 ft.
 - Minimum rear setback, accessory structures: 5 ft.
 - Minimum lot area: No minimum lot area

II.C Use Area 3

- General Location: Northern half of the development, East of Valley Creek and West of Use Area 1 (see Use Area Plan, attached)
- Acreage: approx. 7 acres
- Max Density: 144 multifamily units
- Allowed Uses: See attached chart for allowable uses
- Site Design Standards:
 - Building Design:
 - Buildings shall provide a clearly defined entry oriented toward an abutting sidewalk or street with direct pedestrian access from a clearly defined entrance to the public sidewalk.
 - Predominant exterior building materials shall use brick, stone, wood, or sturdy siding, such as Hardie. Stucco and vinyl siding shall not be permitted.
 - Access Management, Parking, and Loading:
 - Min Parking: 1.5 spaces per D.U.
 - Parking may be provided onsite or offsite in a separate parking area.
 - If on-street parking is provided, curb extensions will be provided at intersections to reduce pedestrian crossing distances.
 - Dimensions:
 - Minimum front setback: 10 ft. from ROW
 - Minimum Side setback: 10 ft
 - Minimum Rear setback: 15 ft
 - Minimum Lot Area: No minimum lot area
 - Minimum distance between residential buildings of any kind: 10 ft.

II.D Use Area 4

- General Location: Along Northern-most edge of the development, East of Valley Creek and West of Parcel 1 (see Use Area Map)
- Acreage: approx. 1.3 acres
- Allowed Uses: See attached chart for allowable uses
- Site Design Standards:
 - Building Design:
 - Buildings shall provide a clearly defined entry oriented toward an abutting public street with direct pedestrian access from a clearly defined entrance to the public sidewalk.
 - Predominant exterior building materials shall use brick, stone, wood, or sturdy siding, such as Hardie. Stucco and vinyl siding shall not be permitted.
 - Max building height: 35 ft.
 - Access Management, Parking, and Loading:
 - Min Parking: No minimum parking
 - Parking lots will be located at the rear of commercial buildings (opposite the side adjacent to the nearest primary street).
 - If on-street parking is provided, curb extensions will be provided at intersections to reduce pedestrian crossing distances.
 - Dimensions:
 - Minimum front setback for all commercial buildings: 5 ft. from ROW
 - Minimum Side setback: 10 ft
 - Minimum Rear setback: 10 ft
 - Minimum Lot Area: No minimum lot area.
 - Minimum distance between buildings of any kind: 10 ft.

II.E Use Area 5

- General Location: Northwestern-most edge of the development along Valley Creek, and wooded hillside between Use Area 1 and 3 (see Use Area Map)
- Acreage: approx. 22.3 acres
- Allowed Uses: See attached chart for allowable uses
- Site Design Standards:
 - Parks/Open Space:
 - A large public park with a playground, pavilion, and approximately 5,550 linear feet of paved trails will be built along the Northwestern edge of Oak Hills.
 - Approximately 5 acres of groomed/mowed space will be maintained at the northernmost edge of Use Area 5 (location of playground and pavilion)
 - Maintenance will be provided through an association or other common ownership method as provided for in the Subdivision Regulations. This maintenance agreement must be established prior to recording of subdivision.
 - Approximately 8 acres along Valley Creek will remain native to preserve the existing plant and wildlife ecosystem.
 - The hillside along the eastern side of Use Area 5 will be preserved in its native, wooded state.
 - Access Management, Parking, and Loading:
 - Convenient access points to park and trail system will be provided for Oak Hills residents and the general public through adjacent parking lots

- and via sidewalk/walkway from developed areas.
- Ample parking for residents and the public will be provided via a parking lot near the northern border of Use Area 5.
- If on-street parking is provided, curb extensions will be provided at intersections to reduce pedestrian crossing distances.

III. Standards Generally Applicable Throughout the PDD

1. Road and Right-of-Way Standards

- Intersections shall be provided at short intervals to reduce speeds and provide many opportunities for safe pedestrian crossings.
- Traffic calming measures shall be provided at intersections on all Local Streets (i.e. raised crosswalks, chicanes, bulb-outs, pedestrian signage, roundabouts etc., as approved by the City of Elizabethtown).
- Site distance triangles outlined in the zoning ordinance (§ 154.251) are applicable within the PDD
- Street Classifications (also see attached street cross sections):
 - Local Street
 - Min. 50 ft. total ROW width
 - Min. 28 ft. paved
 - Two lanes
 - On-street parking on both sides
 - 4 ft. curb/gutter (2' each side)
 - 5 ft. sidewalk on each side of road
 - 4 ft. landscaped verge on each side
 - Lighting at each intersection, and along street at intervals of 70 ft.
 - 6" DGA, 3" Base, 1" surface
 - Max Grade 8%; Min Grade 0.5%
 - Neighborhood Access Street
 - 40 ft. total ROW
 - Min. 24 ft. paved
 - Two lanes
 - No on-street parking
 - 4 ft. curb/gutter (2' each side)
 - No verge required
 - Lighting at each intersection, and along street at intervals of 100 ft.
 - 5 ft. sidewalk only required along front-load residential (not required along rear-load where front door already opens to 5 ft. sidewalk)
 - 6" DGA, 3" Base, 1" surface
 - Max Grade 10%; Min Grade 0.5%
 - Alley
 - 16 ft. total ROW
 - Min. 12 ft. paved (no on-street parking)
 - 2 ft. verge on each side
 - Lighting at each intersection, and along street at intervals of 150 ft.
 - 6" DGA, 3" Base, 1" surface
 - Max Grade 10%; Min Grade 0.5%

2. Sign Standards

- All sign / signature entrances will be in accordance with § 154.232 SUBDIVISION IDENTIFICATION SIGN/SIGNATURE ENTRANCE as outlined in the City of Elizabethtown Zoning Code
- Each section (Use Area) of the development may have no more than two signs (monument style) per entrance. Maximum sign area is 48 S.F., and the maximum height is 12' with external (only) lighting.
- Sign/signature entrance will not obstruct drainage or adequate sight distance
- Sign size will be minimized and will not distract from the overall design of buildings and site.
- Signs will be monument style and generally constructed of materials similar to the buildings they advertise.
 - Monument signs will be located at the entrance to the Oak Hills PDD from the North along Nicholas Street, and at the two entrances along the Eastern edge of the development.
 - A monument sign will also be located at the entrance to the multi-family development (Use Area 3).

3. Landscape Standards

Streetscapes

- Local Streets shall include landscaping
- Streetscapes shall include lighting, see Section III.1 above.
- Landscaping along streets shall consist of native species that are deep-rooted minimizing effects on utilities, sidewalks and curbs. Resilient varieties that possess longevity, low maintenance and high drought tolerance within urban & suburban landscapes.
- Landscaping withing ROW will be plants (trees) that are single stemmed and can be limbed up as they mature to eliminate sight distance issues. Smaller plants (shrubs) will be compact varieties that would not create sight distance issues.
- Trees: Oaks, London Plane Tree, Gingko, Yellowwood, Black Gum, Linden, Redbud, Hornbeam

Screening and Buffering Standards

- A minimum of a 10 ft buffer shall be provided on commercial lots along boundaries adjacent to residential lots and parks.
 - The buffer shall consist of an evergreen screening of at least 6 feet in height at maturity, or a solid wooden, masonry or metal fence at least 6 feet in height.
- When the rear wall of any building abuts a Local Street, perimeter buffer landscaping shall be required along the rear lot line at a minimum width of 10 ft.
 - The buffer shall consist of approved plants and shrubs at least 6 ft in height
- A landscaped 3-foot screen will be maintained around the foundation of all multi-family structures consisting of approved plants and shrubs.
- A row of shrubs (min. 3 ft. height at maturity) will be maintained between parking lot and streets or property lines.

4. General Location, Amount, and Type of Open Space

Oak Hills includes easily accessible parks, trails, and common open spaces to enhance the living experience of residents and provide amenities to the general public. These spaces are designed into the community, rather than apart from it, so that they will be integral to residents' daily routines and will provide a place where healthy community bonds can be

formed. A minimum of 20% of land within the Oak Hills development will be open space.

Common ownership and management of open space shall be provided for in accordance with the Elizabethtown Subdivision Regulations (Section 4.7.5), unless dedicated to the City as a public park.

5. Environmentally Sensitive Lands, Resource Lands, Wildlife Habitat, and Waterway Corridors

The location of environmentally sensitive lands, resource lands, wildlife habitat, and waterway corridors will be identified, and protection of these lands will be ensured.

- A wetlands study has been completed to identify all perennial, intermittent, and jurisdictional ephemeral streams, and all jurisdictional wetlands areas within the Oak Hills boundaries (see attached “Ecological Resources Map”).
 - The perennial stream (PER1) running North/South along the Western edge of the project will be unaffected by the Oak Hills development project (no structures within at least 25 ft. of the primary flow line).
 - No structures shall be built within 25 ft. of the primary flow line of the intermittent stream (INT1) running downhill from East to West across the Northeastern quarter of the property. Streets are allowed to pass over this stream only if a culvert, or other recommended means, is installed to ensure the stream flow remains uninterrupted and proper permitting/licensing is secured with the appropriate public and private entities.
 - No construction is allowed within the boundaries of the jurisdictional wetlands along the stream bed on the Western edge of the property (WET5 and WET6), or the jurisdictional wetlands (WET3) at the Southern tip of the property.
- Approximately 8 acres along Valley Creek (located within the above-mentioned public park) will remain native to preserve the existing plant and wildlife ecosystem.
- The hillside along the eastern side of Use Area 5 (approximately 8 acres) will be preserved in its native, wooded state, except to provide the minimum incursion necessary to provide access to the multifamily units in Use Area 3.
- A conservation easement restricting future development on these areas will be created and dedicated to a land conservancy.

6. General Location of Water, Sewer, Gas, and Stormwater Drainage Facilities

The location of water, sewer, gas, and stormwater drainage facilities will be provided through the subdivision platting process.

- As much as practicable, utilities will be located within ROWs
 - Water and Sewer under streets
 - Gas and power in ROW but not under street

7. Lighting Standards

- Lighting will be a black decorative 9” LED ‘Acorn type’ head and fiberglass pole or equal, mounting height to range between 12’ and 16’ (pending location), or other style approved by Kentucky Utilities.
- Lighting will be energy-efficient with smart sensors system, as permitted by the utility provider. The use of LED and smart sensors will reduce energy consumption and reduce environmental impact to create a sustainable system.
- Lighting will be designed to enhance safety and visibility while minimizing light pollution and spillover onto adjacent properties.
- Streetscapes will include appropriate lighting (see Section 3 above).

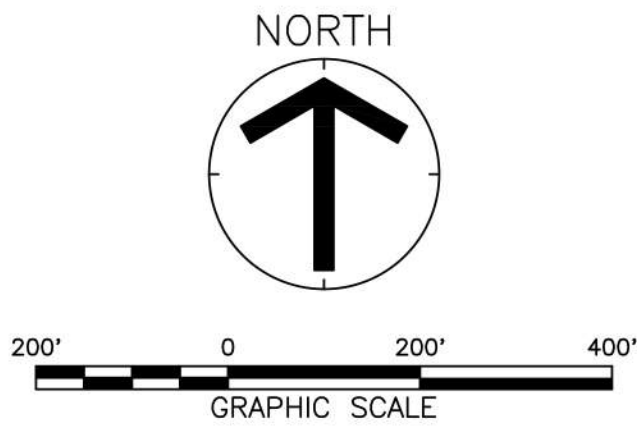
IV. Administrative

- The Elizabethtown PDD Ordinance The Elizabethtown PDD Ordinance (§ 154.068) requires inclusion of a Concept Map as part of the Master Plan application for PDD rezoning. This map depicts a variety of information about the Oak Hills project. As noted in the city code (§ 154.115), the attached Master Plan Concept Map is intended to provide general guidance for development of the property. These are provided to convey the current design, in concept, but are subject to change during the design and development and permitting process.
- Once this Master Plan document is approved by the Planning Commission or City Council, all changes thereafter will be evaluated as follows. The Planning Director shall have discretion to decide whether any proposed change is minor versus major.
 - Minor Change: Approval from Planning Director required.
 - Examples:
 - Use Area Boundaries
 - Shifting UA boundary lines a small amount (less than 10%).
 - Street/alignment changes
 - Minor realignments that don't affect connectivity or external access points.
 - Landscaping adjustments
 - Substituting plant species, changing locations, or minor modifications in quantities.
 - Lighting changes
 - Changing the type, color or size of light poles or lights.
 - Open space location
 - Minor changes to location of open spaces as long as minimums are maintained.
 - Major Change: Approval from Planning Commission and City Council required.
 - Examples:
 - Density / intensity
 - Increase in the total number of dwelling units beyond maximums established, per Use Area, in the Master Plan document.
 - Land use changes
 - Changing the type of use.
 - Changes to boundaries of use areas of 10% or greater.
 - Dimensional changes
 - Changes to any of the maximums/minimums established in the "Dimensions" sections of each Use Area above.
 - Street network / access
 - Adding or removing external access points.
 - Changing street type (Local, Neighborhood, Alley) parameters
 - Open space
 - Reducing the required 20% open space outlined above.
 - Overall character
 - Any change that alters the fundamental concept, character, or mix of the PUD as approved.

ALLOWABLE USES BASED ON R-5 URBAN RESIDENTIAL MIXED					
	USE AREA 1	USE AREA 2	USE AREA 3	USE AREA 4	USE AREA 5
COMMERCIAL USES:					
Beauty Shops, Barber Shops, Shoe Repair Shops				X	
Financial Institutions				X	

Laundry, self-service or pick up stations				X	
Offices				X	
Pet(small animal) grooming and boarding				X	
Specialty retail shops				X	
Government operated parks					X
Childcare Centers				X	
RESIDENTIAL USES:					
Residential Multi-unit			X		
Residential Duplex	X				
Neighborhood use structures (clubhouses, playgrounds, pavilions, sports courts, maintenance building.)	X			X	X
Single unit attached residences (two-residences)	X				
Single unit attached residences (three or more residences)	X				
Single unit detached residences and two-family residences	X	X			
ACCESSORY USES					
RESIDENTIAL USES:					
Accessory Dwelling Units (ADU)	*X	*X			
Mother-in-law apartments	X	X	X		
Signage as regulated by PDD	X	X	X	X	X
COMMERCIAL USES:					
Parking lot and structures	X	X	X	X	X
*Dwelling Unit, Accessory (ADU) Per Section 154.076.A For Standard Specific To ADU's					

X:\AI-Projects-2025\25101 - Oak Hills - Elizabethtown, KY\Exhibits\POD Exhibits\25101 - X03 - Oak Hills Subdivision - Master Plan.dwg PLOT DATE: October 10, 2025 - 10:08am



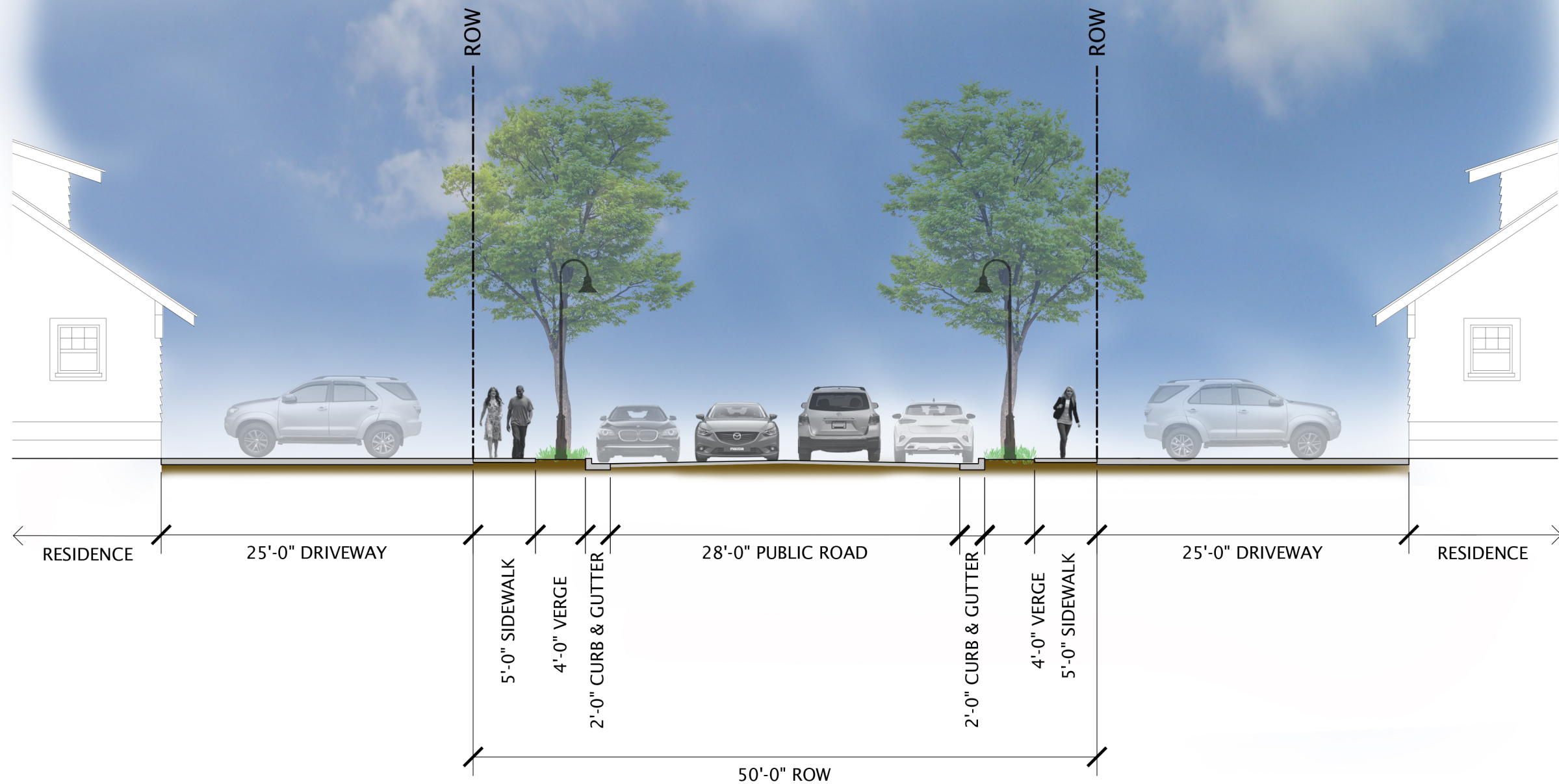
CONCEPT PLAN
FOR
OAK HILLS
NICHOLAS STREET
ELIZABETHTOWN, KY 42701

JOB NO: 25101
HORIZ. SCALE: 1"=200'
VERT SCALE: N/A
DESIGNED BY: SPM
DETAILED BY: SPM
CHECKED BY: SWH
DATE: OCTOBER 8, 2025

SHEET
X03
(OVERALL)

ENGINEER:
HERITAGE ENGINEERING, LLC
603 North Shore Drive
Unit 100
Jefferson, TN 37067
(615) 280-8201
(615) 280-8281 Fax





LOCAL STREET CROSS SECTION

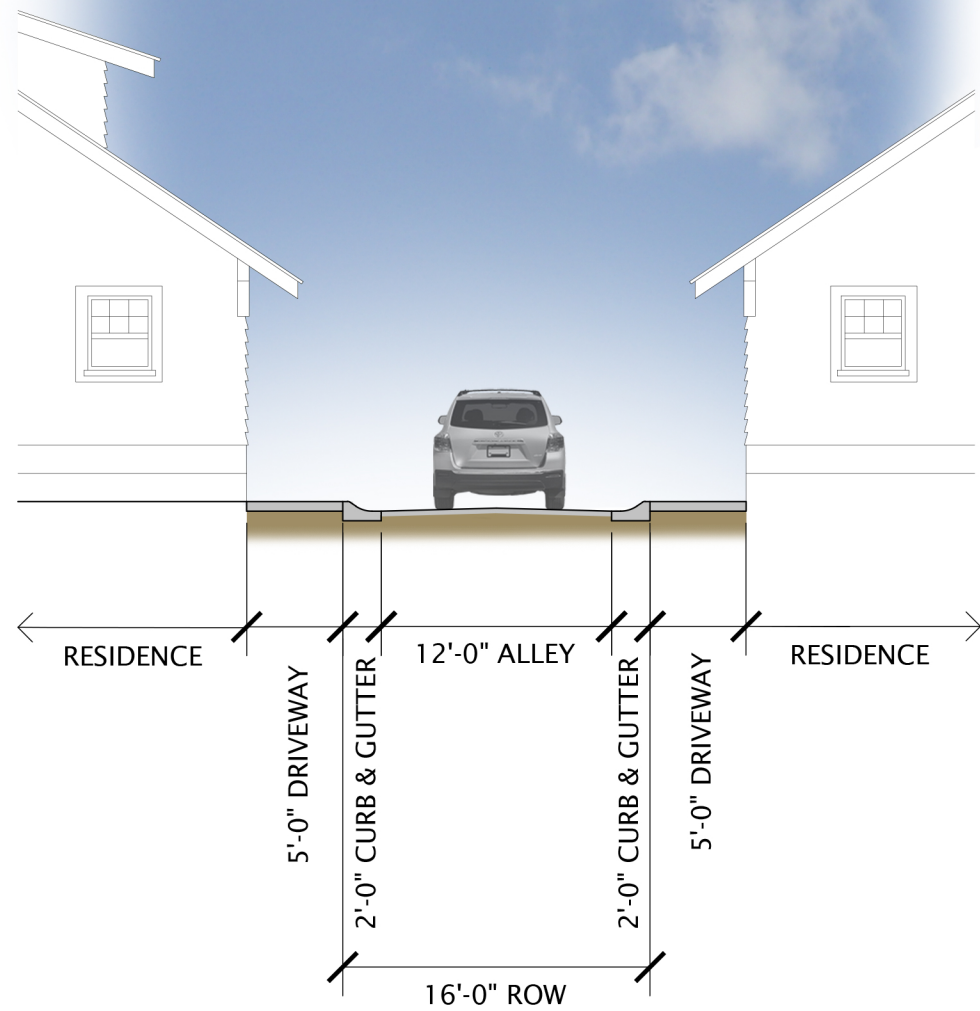


Road Cross Sections for Oak Hills

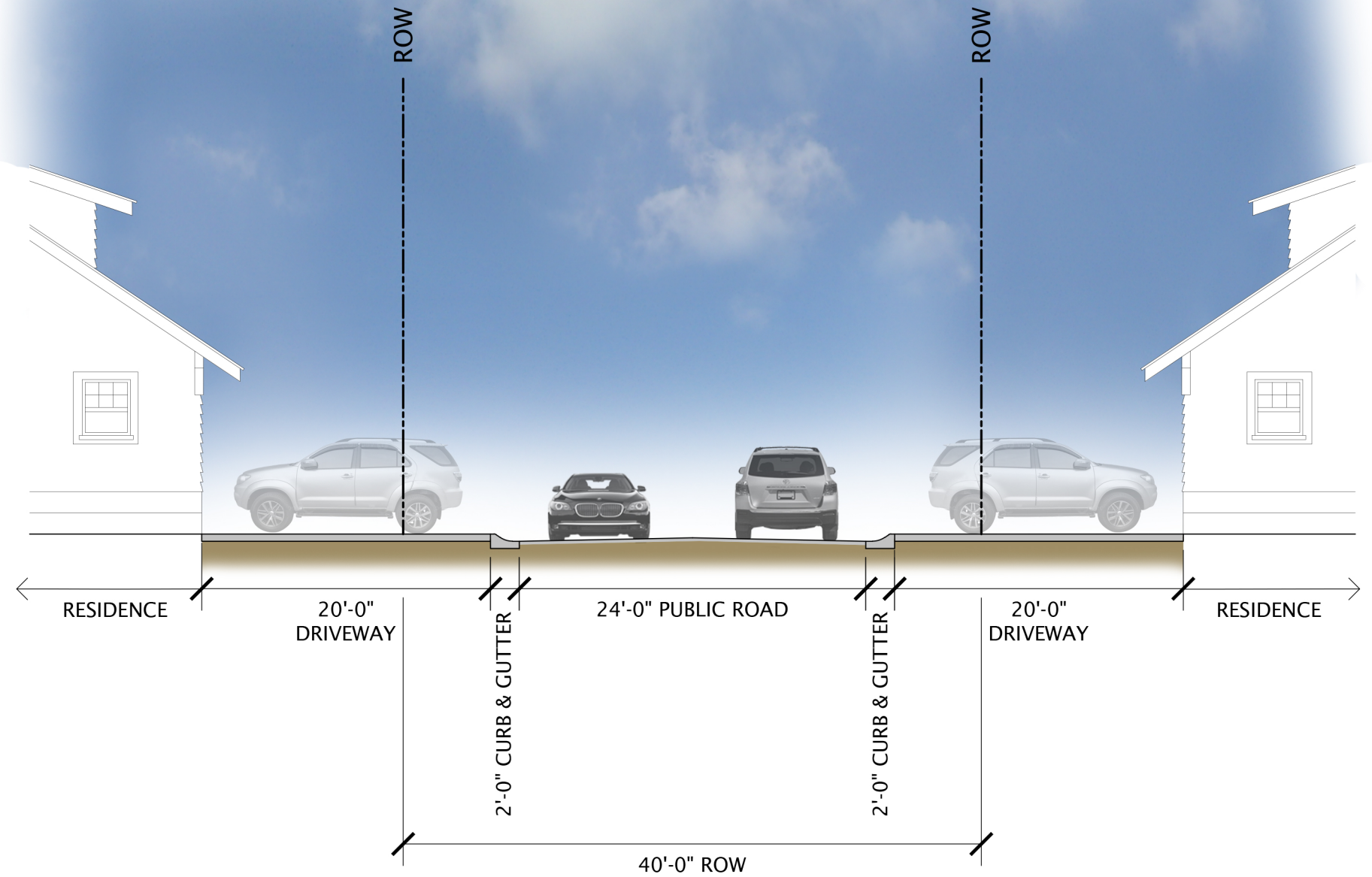
October 14, 2025

Developer: Lone Tree, 2250 W Center St. Springville, UT, 84663





ALLEY CROSS SECTION



NEIGHBORHOOD ACCESS STREET CROSS SECTION



Road Cross Sections for Oak Hills

October 14, 2025

Developer: Lone Tree, 2250 W Center St. Springville, UT, 84663





Public Hearing 2025-PC-20 & 2025-PC-21

Zoning Map Amendment
R-4 to R-5
&
Variance Request

325 Helm Street



Staff Report

Elizabethtown Planning Commission
October 28, 2025

2025-PC-20 & 2025-PC-21

REQUEST

Change in zoning from R-4, Urban Residential, General to R-5, Urban Residential, Mixed

Variance for rear yard setback from 25' to 15'

Development Plan for Thomas Street Complex
Sidewalk waiver for Thomas Street

APPLICANT

ARPROPS LLC

OWNER

ARPROPS LLC

PROPERTY INFORMATION

Address: 325 Helm Street

Size: 0.29 Acres

Current Zoning: R-4, Urban Residential, General

Proposed Zoning: R-5, Urban Residential, Mixed

Current Use: Vacant

Proposed Use: Quadplex



SUMMARY

A change of zoning is requested from R-4 to R-5. The R-4 zoning district permits single and two-unit residential uses with a density of up to 10 (10) dwelling units per acre. The R-4 zoning district also permits a townhouse development as a permitted use, with a requirement to provide vehicular access from the rear. R-5 is a residential zoning district permitting single-unit, two-unit, townhouse and multi-unit residential developments.

A development plan was filed as the exhibit for this request. The development plan shows a quadplex development with access proposed from Thomas Street. Because of a sewer and stormwater easement across the southern corner of this development that takes up roughly one quarter of the lot, the applicant was unable to do a townhouse development (permitted by right in the existing R-4 zone). A townhouse development would've required access to be provided from the rear and it is not possible to situate the building close enough to Thomas Street to provide vehicular access to the rear of the structure. This has necessitated the need for an R-5 zoning district which would allow the quadplex under the multi-unit residential classification.

Utilities are existing onsite and stormwater pipe would be added to direct the stormwater to the existing stormwater system in the area. With the lot being less than 1 acre in size, water quality measures will not be required. A privacy fence and a row of trees will be provided along the north and west property line to provide screening for the adjacent single-unit residential developments.

The adjacent properties are zoned R-4 (north, east and south), and R-2 (west). All adjacent properties are single-unit residential uses.

Due to the change of zoning request, the current setbacks of the lot will change. When this property was platted in early 2025, it was assumed that the higher-class street (Helm Street) would be the principal front yard, which would make the western property line the side yard and the northern property the rear yard. Because of the easement constraints, the building will need to front Thomas Street, which in turn makes that the principal front yard and the western property line the rear yard and the northern line the side yard. The R-5 zoning classification has stricter setback requirements than the R-4 classification, so the rear is now required to be 25'. In order to fit the proposed structure on this property, a variance is needed to reduce the rear yard setback from 25' to 15' (which is the existing rear yard setback of the R-4 zoning classification). When associated with a map amendment, the Planning Commission can consider a variance request.

Minimum Rear Yard:	25 ft
Proposed Rear Yard:	15 ft
Variance Requested:	10 ft

BACKGROUND

This property was originally platted as Lot 1 of Block B of the Henry B. Helm’s Addition Subdivision in 2024 by the City to prepare this property for sale to ARPROPS LLC. This property has been vacant since it was originally platted.

RECOMMENDATION

Staff recommend approval of a zoning map amendment from R-4, Urban Residential, General to R-5, Urban Residential, Mixed and the requested variance.

Staff recommends approval of the development plan with conditions.

STANDARD OF REVIEW FOR ZONING MAP AMENDMENTS

KRS 100.213 states that before a zoning map amendment is granted, it must be found to be in agreement with the adopted Comprehensive Plan. Or, in the absence of such a finding that one or more of the following apply:

- a. That the existing zoning classification given to the property is inappropriate and that the proposed zoning classification is appropriate;
- b. That there have been major changes of an economic, physical, or social nature within the area involved which were not anticipated in the adopted comprehensive plan and which have substantially altered the basic character of such area.

COMPREHENSIVE PLAN ANALYSIS

Staff finds that the proposal complies with the Envision Elizabethtown 2040 Comprehensive Plan.

The Envision Elizabethtown 2040 Comprehensive Plan lays out a five step process for determining whether a proposal complies with the Comprehensive Plan. Following is staff's analysis for compliance with the Comprehensive Plan.

Step 1: Compliance with the Community-Wide Development Policies

This step reviews policies that are applicable to new construction and redevelopment throughout the city. A list of all of the policies can be found on page 28 of the comprehensive plan. The following policies are applicable to this request:

- Emphasis is placed on reuse and redevelopment of existing parcels and structures versus development of vacant (undeveloped) or unplatted parcels.
- The size and scale of all development and redevelopment should reflect the character and style of surrounding uses, regardless of the nature and desirability of the particular project.
- Access points to all public roadways should be defined and minimized.
- Developments should be interconnected in order to minimize traffic conflicts and to provide alternative access points and routes for traffic flow.
- New development should only occur in areas where water and sewer services are available from public agencies and can meet additional demand.
- New development should only occur where there is an adequate water supply and pressure for fire protection services.

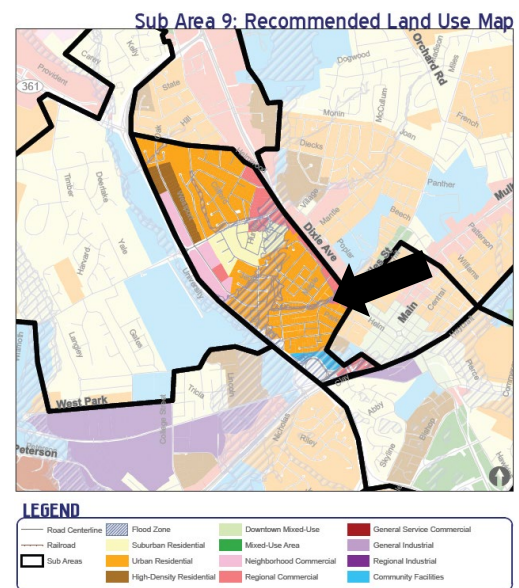
Staff Analysis:

- The property has adequate access from an existing city street. Additional improvements to Thomas Street should be considered upon development of the property to bring the street up to minimum NFPA standards (20' in width).
- The size and scale of R-5 development is compatible with surrounding properties as there are several multi-unit developments in the area.
- Adequate water and sewer capacity are available onsite.

Step 2: Compliance with the Recommended Land Use Plan

In order to determine compliance with the comprehensive plan, property subject to a development proposal should be located on the Recommended Land Use Map to identify the sub area in which it is located, the recommended land use for the property, and whether it is considered to be in a transition area.

This property is in the Urban Neighborhood Central Sub Area (Sub Area 9) and not in a transition area. The Recommended Land Use Map designates the property as urban residential, which is encouraged in areas closer to the city core, accessible to suitable infrastructure and adjacent to existing development patterns that support and are compatible with medium to moderate density residential development. The minimum net density recommended for areas classified as Urban Residential is five (5) units per acre, with a maximum net density of twelve (12) units per acre.



Staff Analysis:

- The Recommended Land Use Map designates this property as Urban Residential. The proposed development is an Urban Residential use therefore is in compliance with the Recommended Land Use Map.

Step 3: Compliance with the Community-Wide Guidelines

This step builds upon Step 1 by providing more detailed direction for development. It focuses on redevelopment, scale, transition between land uses, access management and vehicular connectivity, pedestrian connectivity, environment, and utilities. A list of all the guidelines can be found on pages 34-36 of the comprehensive plan. The following guidelines are applicable to the request:

- A. *Redevelopment Emphasis:* Emphasis should be placed on reuse and redevelopment of existing parcels and structures versus vacant (undeveloped) parcels. Redevelopment of existing sites and structures not only improves sites that typically lack investment, but it also places less burden on extending utilities, public services, and other city services.

Staff Analysis:

- The zoning map amendment would allow appropriate development of an existing city lot that has public services (water, sewer, gas) nearby.

- B. *Scale and Density:* The size and scale of all development and redevelopment should reflect or transition to a similar character and style of surrounding uses regardless of the nature and desirability of the proposed project or development. Higher-density residential should also be encouraged within the current city limits with appropriate transitions to adjacent parcels.

Staff Analysis:

- The size and scale of R-5 development is compatible with surrounding properties as there are several multi-unit developments in the area.

- C. *Transition between Land Uses:* Development should provide appropriate transitions between conflicting land uses and densities/intensities. While this plan identifies areas for specific recommended land uses, it is important to consider how development transitions between land uses and densities to avoid conflicts.

Staff Analysis:

- Appropriate transitions to adjacent properties will be required with development of the property. Special attention should be given to the adjacent houses on the north and west sides of this development.

- D. *Access Management & Vehicular Connectivity:* All development should use access management techniques and encourage connectivity to adjacent development to minimize traffic conflicts and provide alternative access points and routes for traffic flow. Traffic congestion and safety should be considered on all development through access management measures. Cross-development connectivity is important in preserving the level of service on adjacent thoroughfares by providing routes for traffic to access adjacent developments without using a higher classification road that is not intended for individual site access. This encourages fewer curb cuts, or access points, into a development and, therefore, allows traffic to flow and improves safety on the adjacent roadway.

Staff Analysis:

- The property has adequate access from an existing city street. Additional improvements to Thomas Street should be considered upon development of the property to bring the street up to minimum NFPA standards (20' in width).

E. Pedestrian Connectivity: New pedestrian facilities should be encouraged and connected to adjacent development. Providing pedestrian connections can be just as important as vehicular connections. Providing ways for people to walk between adjacent developments and from surrounding residential areas provides an alternative mode of transportation and encourages healthy lifestyles.

Staff Analysis:

- A Sidewalk will be required to be constructed along a section of Thomas Street (from the driveway to the corner of Thomas Street and Helm Street). Because of a drainage feature on the northern portion of the frontage along Thomas Street impeding the placement of a sidewalk, a waiver should be considered for the remainder of Thomas Street. Improvements to the sidewalk along Helm Street should be considered to bring the current sidewalk up to City standards of 5' in width.

G. Utilities: New development should be served by adequate water and sewer services. Water and sewer services are a critical element for new development to occur, but those agencies also need to have the capacity to meet the additional demand placed on the system.

Staff Analysis:

- Adequate water and sewer capacity are available to the property.

Step 4: Compliance with the Sub Area Guidelines

This step provides guidelines that are more specific to the sub area in which the property is located. The subject property is located in the Urban Neighborhood Central Sub Area (Sub Area 9). The following guidelines are applicable to this request:

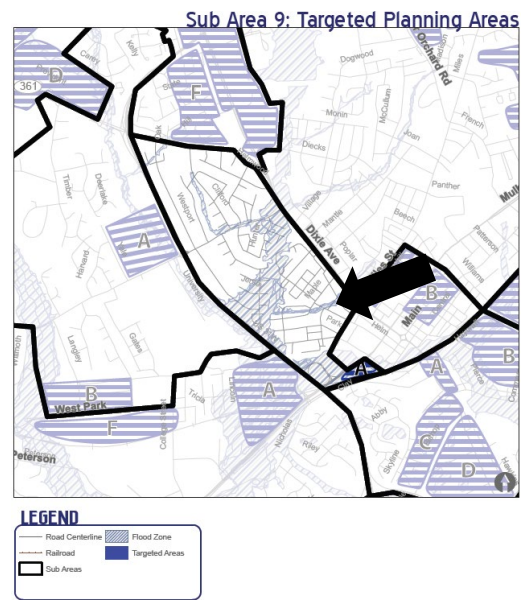
1. **Compatible Uses:** Some circumstances could justify other compatible uses to serve daily needs of residents and future growth.
2. **Reinvestment and Redevelopment:** The housing stock should be improved with a focus on those that are experiencing deterioration or disinvestment.
3. **Environment:** Development should consider the floodplain and/or drainage constraints in this area.

Staff Analysis:

- The proposed development is for a higher density in the form of a quadplex.
- Appropriate transitions to adjacent properties will be required with development of the property. Special attention should be given to the adjacent houses on the north and west sides of this development.
- Improvements to Thomas Street and the sidewalk along Helm Street should be considered.
- The proposed development is a way to utilize an infill development to increase density while being compatible with the uses in the general area.
- Because of a large drainage tile installed along the southeast corner of this property as part of the City's drainage project, the applicant is proposing to develop the remainder of the property with an increased density development in the form of a quadplex.

Step 5: Compliance with Targeted Planning Area Guidelines

This step provides guidelines for a targeted planning area within a sub area. Targeted Planning Areas have been identified for areas needing more intensive analysis and guidance. This property is not in a Targeted Planning Area.



PROPOSED FINDINGS OF FACT FOR ZONING MAP AMENDMENT

WHEREAS, the Elizabethtown Planning Commission (Commission) finds the proposed zoning map amendment from R-4, Urban Residential, General to R-5, Urban Residential, Mixed complies with the Envision Elizabethtown 2040 Comprehensive Plan (Plan); and

WHEREAS, the Commission finds that the proposal complies with the Community-Wide Development Policies of the Plan, that the property has adequate access from an existing city street, and additional improvements to Thomas Street should be considered upon development of the property to bring the street up to minimum NFPA standards (20' in width), that the size and scale of R-5 development is compatible with surrounding properties as there are several multi-unit developments in the area, that adequate water and sewer capacity are available onsite; and

WHEREAS, the Commission finds that the proposal complies with the Recommended Land Use Plan of the Plan, that the Recommended Land Use Map designates this property as Urban Residential. The proposed development is an Urban Residential use therefore is in compliance with the Recommended Land Use Map; and

WHEREAS, the Commission finds the proposal complies with the Community Wide guidelines of the Plan, that the zoning map amendment would allow appropriate development of an existing city lot that has public services (water, sewer, gas) nearby, that the size and scale of R-5 development is compatible with surrounding properties as there are several multi-unit developments in the area, that appropriate transitions to adjacent properties will be required with development of the property and special attention should be given to the adjacent houses on the north and west sides of this development, that the property has adequate access from an existing city street and additional improvements to Thomas Street should be considered upon development of the property to bring the street up to minimum NFPA standards (20' in width), that a sidewalk will be required to be constructed along a section of Thomas Street (from the driveway to the corner of Thomas Street and Helm Street) and because of a drainage feature on the northern portion of the frontage along Thomas Street impeding the placement of a sidewalk, a waiver should be considered for the remainder of Thomas Street and improvements to the sidewalk along Helm Street should

be considered to bring the current sidewalk up to City standards of 5' in width, and that adequate water and sewer capacity are available to the property; and

WHEREAS, the Commission finds the proposal complies with the Sub Area Guidelines of the Plan, that the proposed development is for a higher density in the form of a quadplex, that appropriate transitions to adjacent properties will be required with development of the property and special attention should be given to the adjacent houses on the north and west sides of this development, that improvements to Thomas Street and the sidewalk along Helm Street should be considered, that the proposed development is a way to utilize an infill development to increase density while being compatible with the uses in the general area, and that because of a large drainage tile installed along the southeast corner of this property as part of the City's drainage project, the applicant is proposing to develop the remainder of the property with an increased density development in the form of a quadplex.

VARIANCE CRITERIA

In accordance with KRS 100.243, before a variance is granted the Commission must make the following findings:

The variance will not adversely affect the public health, safety and welfare;

Staff Finding: The variance will not adversely affect the public health, safety and welfare since the proposed building will maintain a 15' buffer from the adjoining property and emergency response will not be hampered.

The variance will not alter the essential character of the general vicinity;

Staff Finding: The variance will not alter the essential character of the general vicinity since the proposed building will maintain a setback comparable to the existing structures in the area.

The variance will not cause a hazard or nuisance to the public;

Staff Finding: The variance will not cause a hazard or nuisance to the public since the proposed building will maintain a setback comparable to the existing principal structures in the area.

The variance will not allow an unreasonable circumvention of the requirements of the zoning regulations;

Staff Finding: The variance will not allow an unreasonable circumvention of the requirements of the zoning regulations since the proposed building will maintain a setback comparable to the existing principal structures in the area.

In making these findings, the Commission must consider whether:

The requested variance arises from special circumstances which do not generally apply to land in the general vicinity, or in the same zone;

Staff Finding: The variance arises from special circumstances which do not generally apply to land in the general vicinity or in the same zone since there are excessive easements located on the southeast corner of the lot which limits placement of a building.

The strict application of the provisions of the regulation would deprive the applicant of reasonable use of the land or would create an unnecessary hardship;

Staff Finding: The strict application of the provisions of the regulation would create an unnecessary hardship because of the excessive easements placed on the property, which limit the placement of a building.

The circumstances are the result of actions of the applicant taken subsequent to the adoption of the zoning regulation from which relief is sought;

Staff Finding: The applicant is requesting the variance prior to requesting a permit.

Staff Recommendation

Staff recommends approval of a variance to reduce the rear yard setback from 25' to 15' to allow the construction of a quadplex.

DEVELOPMENT PLAN

Access

The property has frontage on Helm Street and Thomas Street. Because of the drainage and sewer easements on the southeastern corner of this property, the proposed building will front on Thomas Street. Access is proposed to come off Thomas Street, which should require improvements to bring Thomas Street up to minimum NFPA standards (20' wide). This improvement would require construction plans to be approved by the City's Engineering Department.

Because of a drainage feature on the northeast corner of the property, fitting a sidewalk inside of the Thomas Street right of way would be challenging with the widening of Thomas Street. Therefore, it is recommended to require a sidewalk from the northernmost driveway to connect to the existing sidewalk along Helm Street. A waiver would be required for the remainder of Thomas Street. It is also recommended to improve the sidewalk along Helm Street from 3' to 5' to meet the minimum standards and match the sidewalks that the City installed in this area as part of the drainage project.

Utilities

Adequate utilities are available on this property. There are no concerns from either the City's Engineering Department or other utilities with providing service to this development.

Drainage

Stormwater will be piped to the existing storm network in the area. With this lot being less than 1 acre, there will not be a requirement for water quality.

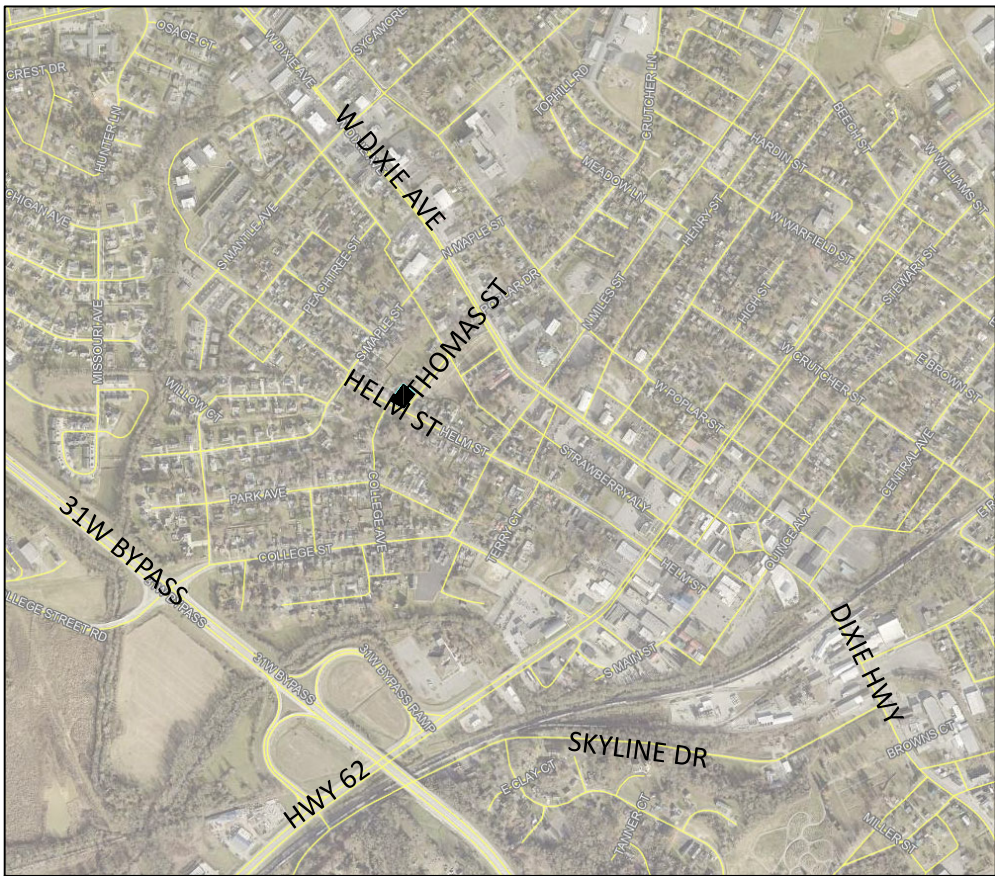
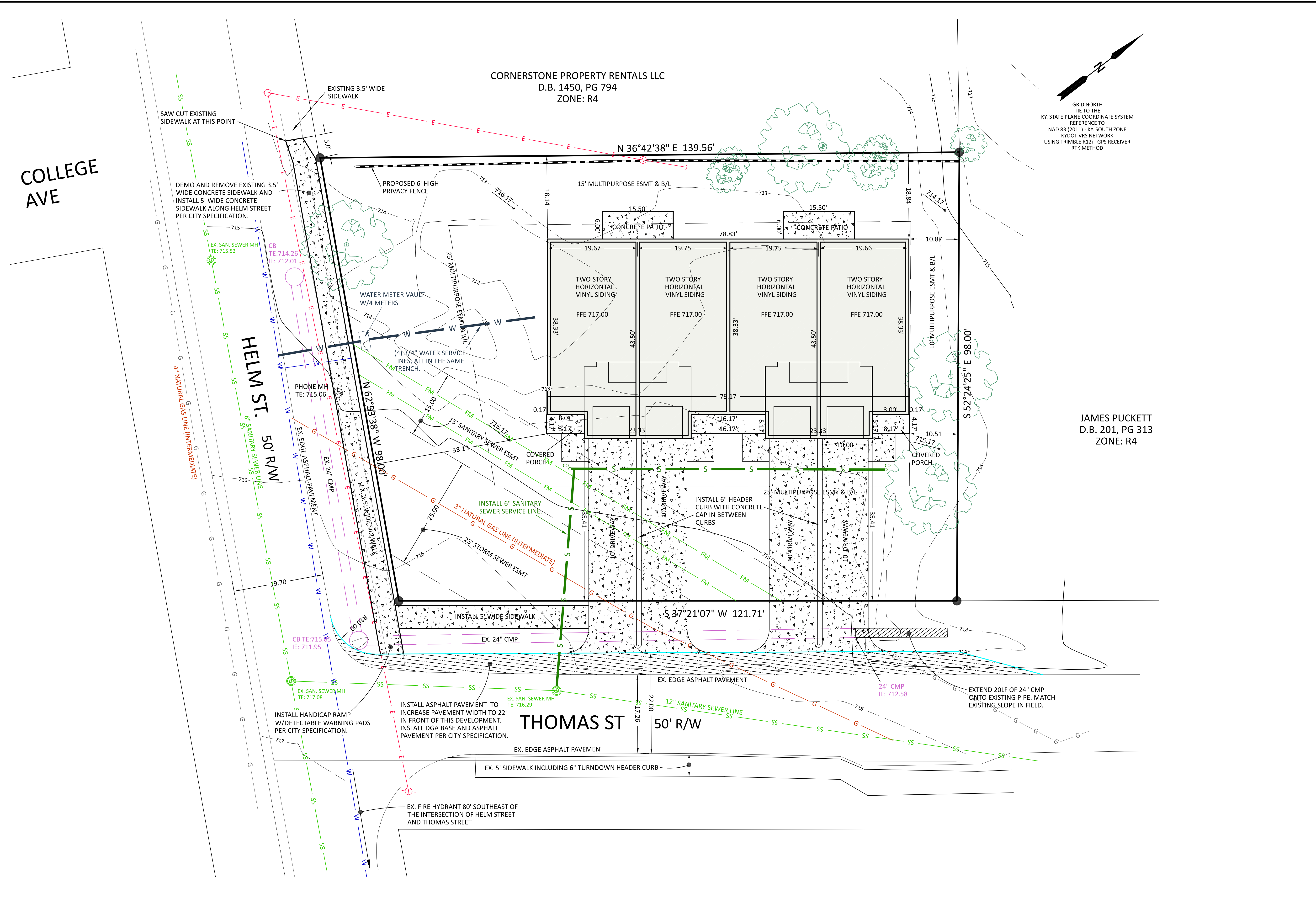
Landscaping

With an increase in zoning from R-4 to R-5 and the proposal of a quadplex, it is required to provide perimeter screening next to the existing single-unit dwellings on the north and west adjacent properties. The applicant is proposing to utilize a privacy fence and a row of trees to meet the minimum requirements.

RECOMMENDATION

Staff recommends approval of the development plan with the following conditions:

1. Improve Thomas Street to a minimum of 20' in width from Helm Street to the end of the property.
2. Improved Helm Street sidewalk from 3' to 5' in front of property.
3. Provide sidewalk along Thomas Street from northernmost driveway to Helm Street (recommend approval of waiver from northernmost driveway to edge of property).



- LEGEND**
- FOUND 1/2" DIA x 18" IRON PIN WITH YELLOW SURVEYORS IDENTIFYING CAP STAMPED "D. CLEMONS LS# 3383 2124"
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING STORM SEWER MANHOLE
 - DRAINAGE & UTILITY EASEMENT
 - EXISTING UTILITY POLE & GUY WIRE
 - PROPERTY LINE
 - DRAINAGE & UTILITY EASEMENT
 - BUILDING SETBACK LINE
 - ADJOINING PROPERTY LINE
 - EXISTING OVERHEAD ELECTRIC LINE
 - EXISTING GAS LINE
 - EXISTING HCWD #2 WATER LINE (SIZE AS NOTED)
 - EXISTING SANITARY SEWER LINE
 - EXISTING STORM SEWER LINE

- SITE SUMMARY (NOT CONSTRUCTION QUANTITIES)**
1. SITE AREA: 12,706 SF
 2. ZONING: RS
 3. USE: MULTI-UNIT
 4. BUILDING COVERAGE: 3,763 SF = 25.6%
 5. DRIVEWAY: 1,460 SF = 11.6%
 6. SIDEWALKS & PORCHES: 458 SF = 3.6%
 7. OPEN SPACE: 7,525 SF = 59.2%
 8. FLOOR AREA: 6,526.00 SF
 9. BUILDING HEIGHT: 24.75'
 10. NUMBER OF DWELLING UNITS: 4
 11. LOT CRITERIA: 154.059-F
 12. PARKING SPACES: 2 SPACE/D.U.
 13. 4 D.U. = 8 PARKING SPACES REQUIRED
 14. 8 PARKING SPACES PROVIDE
 15. LANDSCAPE CATEGORIES: 154.059-I (A)
 16. LANDSCAPE REQUIREMENTS: REQUIRED VUA LANDSCAPE AREA: N/A (LESS THAN 5 SPACES IN DRIVEWAY)
 17. SIGN CATEGORY: N/A
 18. 12. I.S.R. = N/A
 19. TRASH COLLECTION: EACH UNIT WILL HAVE A TRASH CONTAINER FOR CURBSIDE PICKUP.

FLOOD HAZARD AREA NOTE
AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM), EFFECTIVE AUGUST 16, 2007, SPECIFICALLY MAP NUMBER 21093C0303D, THIS SITE APPEARS TO BE LOCATED IN ZONE X. SAID ZONE X IS DEFINED ON SAID MAP AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN. FLOOD PLAIN CERTIFICATION IS RESTRICTED TO A REVIEW OF THE FLOOD INSURANCE RATE MAPS (FIRM) (LATEST REVISION) AND SHALL NOT BE CONSTRUED AS A CONFIRMATION OR DENIAL OF FLOODING POTENTIAL.

IMPROVEMENT CERTIFICATION
I DO HEREBY CERTIFY THAT THE APPROPRIATE UTILITY PLANS FOR THIS DEVELOPMENT HAVE BEEN REVIEWED BY THIS OFFICE AND ARE APPROVED

HCWD No2 _____ DATE _____

CITY ENGINEER _____ DATE _____

DEVELOPMENT PLAN

OF
THOMAS STREET COMPLEX

THOMAS STREET
ELIZABETHTOWN, KENTUCKY

VARIANCE NOTE
PURSUANT TO AUTHORITY UNDER KRS 100.241, THE ELIZABETHTOWN BOARD OF ZONING ADJUSTMENT VOTED ON _____ TO APPROVE A VARIANCE FOR THE REAR YARD SETBACK FOR THIS LOT FROM 25' TO 15' AS INDICATED ON THIS PLAN. AS AUTHORIZED BY KRS 100.251 THIS VARIANCE RUNS WITH THE PROPERTY AND IS TRANSFERABLE TO ANY FUTURE OWNER OF THIS LOT.

DISCLAIMER NOTE
THIS IS NOT TO BE USED AS A BOUNDARY SURVEY THE BOUNDARY SHOWN HEREON IS REPRESENTATIVE ONLY. THIS DOCUMENT IS NOT TO BE USED FOR LAND TRANSFER.

STORMWATER CERTIFICATION
I DO HEREBY CERTIFY THAT THE APPROPRIATE STORMWATER PLANS FOR THIS DEVELOPMENT HAVE BEEN REVIEWED BY THIS OFFICE AND ARE APPROVED

RITA DAVIS STORMWATER MANAGER _____ DATE _____

COMMISSION CERTIFICATION
I DO HEREBY CERTIFY THAT THIS DEVELOPMENT PLAN MEETS THE REQUIREMENTS SET BY THE CITY OF ELIZABETHTOWN AND IS APPROVED.

COMMISSION CHAIR /DEPT DIRECTOR _____ DATE _____

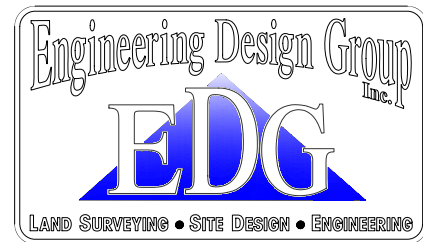
OWNER CERTIFICATION
I (WE) DO HEREBY CERTIFY THAT I AM (WE ARE) THE ONLY OWNER(S) OF THE PROPERTY SHOWN HEREIN, DO ADOPT THIS AS MY (OUR) DEVELOPMENT FOR THE PROPERTY AND AGREE TO COMPLETE ALL SITE IMPROVEMENTS SHOWN HEREON IN THEIR ENTIRETY PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY TO USE AND OCCUPY THE BUILDING(S) AND PROPERTY. I (WE) FURTHER ASSURE AND UNDERSTAND THAT THE BUILDING AND PREMISES, INCLUDING ALL LANDSCAPE MATERIALS SHALL BE MAINTAINED IN A PROPER MANNER.

OWNER _____ DATE _____

OWNER/DEVELOPER:
LAWRENCE STREET HOLDINGS
LLC & ARPROPS LLC
216 N MULBERRY ST
ELIZABETHTOWN KY 42701

ENGINEER/SURVEYOR:
ENGINEERING DESIGN GROUP, INC
315 SOUTH MULBERRY ST
PO BOX 2484
ELIZABETHTOWN KY 42702-2484
(270)769-1436

DEED SOURCE
PVA# 220-20-04-016
DB 1567 PG 262
PC 1 SHT 7495 LOT 1



DATE: OCTOBER 1, 2025 SCALE: 1"=10'

Z:\PROJECTS\OPEN PROJECTS\MISC-DP\HELM ST & THOMAS (PENNINGTON) PENNINGTON-325HELM-2.DWG